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|  | <p style="text-align: center;">Planning and Zoning Commission</p> <p style="text-align: center;">STAFF REPORT</p> | <p style="text-align: center;">AGENDA</p> <p style="text-align: center;"># _____</p> |
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TO: CASA GRANDE PLANNING AND ZONING COMMISSION

FROM: James Gagliardi, City Planner

MEETING DATE: May 1, 2014

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| REQUEST |
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Request by Ruth Dahl of Mary T. Inc, 1555 118th Lane NW, Coon Rapids, MN 55448, for the following land use approval on 10.46 acres located at 1678 N. Peart Rd., APN 505-05-003N:

1. **DSA-14-00012: Major Site Plan** approval to construct Villas Plus by Mary T. age-restricted multi-family residential development.

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|------------------------|
| APPLICANT/OWNER |
|------------------------|

Mary T. Inc.
1555 118th Lane NW
Coon Rapids, MN 55448
P: 763-754-2505
Email: ruthd@martytinc.com

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| HISTORY |
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September 4, 1973: The site was annexed with the passage of Ordinance No. 486. Property was zoned R-3 at the time of the annexation.

July 10, 2003: Major Site Plan approved for this parcel for Phase II of Villas by Mary T, but has since expired.

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| PROJECT DESCRIPTION |
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| Site Area | 10.46 acres |
| Current Land Use | Neighborhoods |
| Existing Zoning | R-3 (Multi-Family Residential) |

Surrounding Land Use and Zoning

| Direction | General Plan 2020 Designation | Existing Zoning |
|-----------|-------------------------------|--|
| North | <i>Neighborhoods</i> | PAD (Highland Manor PAD) |
| East | <i>Neighborhoods</i> | R-3 (Multi-Family Residential) |
| South | <i>Neighborhoods</i> | R-3 (Multi-Family Residential) |
| West | <i>Neighborhoods</i> | PAD (G Diamond Ranch Planned Area Development) |

SITE CONTEXT AERIAL



General Discussion:

The Applicant is requesting the approval of a Major Site Plan for an 84-unit multi-family complex comprised of 20 single-story buildings on 10.46 acres (Exhibit A). Being an age-restricted community for ages 55 and up, there would be 16 four-plexes, 3 six-

plexes and one building consisting of a two-attached units and a club house. Directly to the east is the existing Villas by Mary T residential community, and to the south is the proposed Caliche Senior Living development (DSA-14-00013 and DSA-14-00014).

CONFORMANCE WITH MAJOR SITE PLAN REVIEW CRITERIA

In accordance with Section 17.68.070 of the Zoning Code the Planning and Zoning Commission shall consider the following in review of Major Site Plan applications:

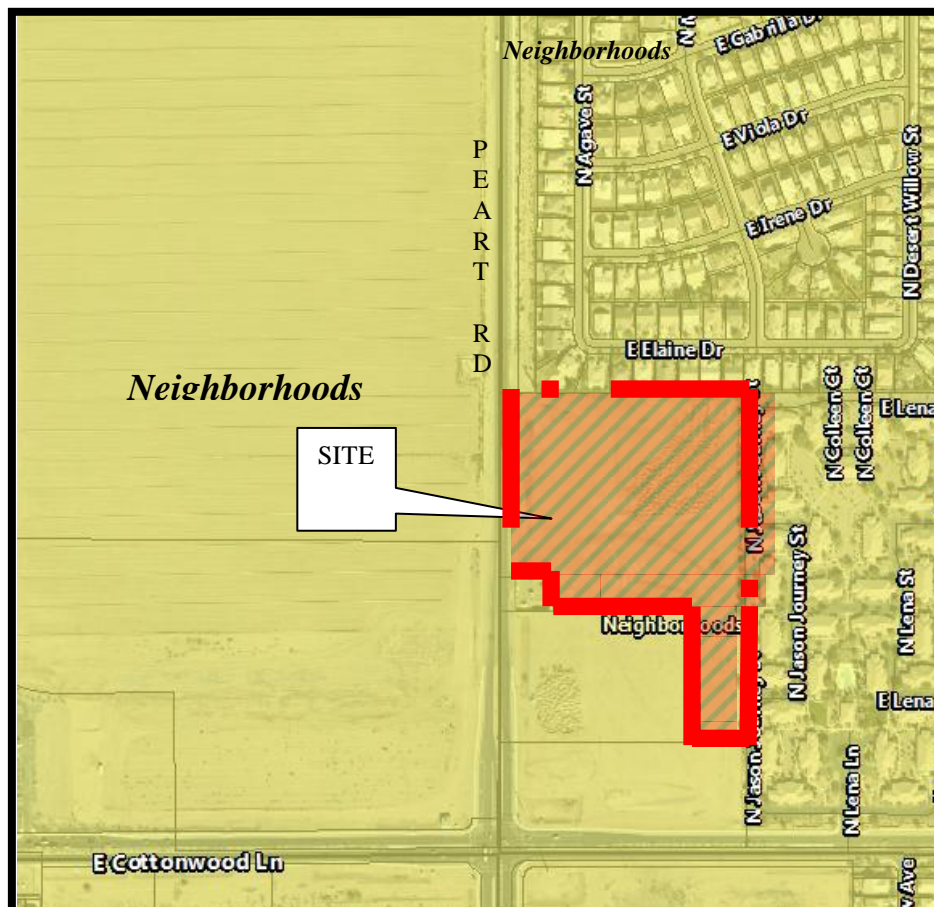
Relationship of the plan elements to conditions both on and off the property;

The proposed development is designed to be visually and functionally compatible with the surrounding existing and proposed development. Villas Plus by Mary T is intending to use similar style and layout of their existing development to the east.

Conformance to the City's General Plan;

The proposed use is in conformance with its *Neighborhoods* land use designation which supports a range of residential and commercial uses. Multi-family development is acceptable within the *Neighborhoods* category.

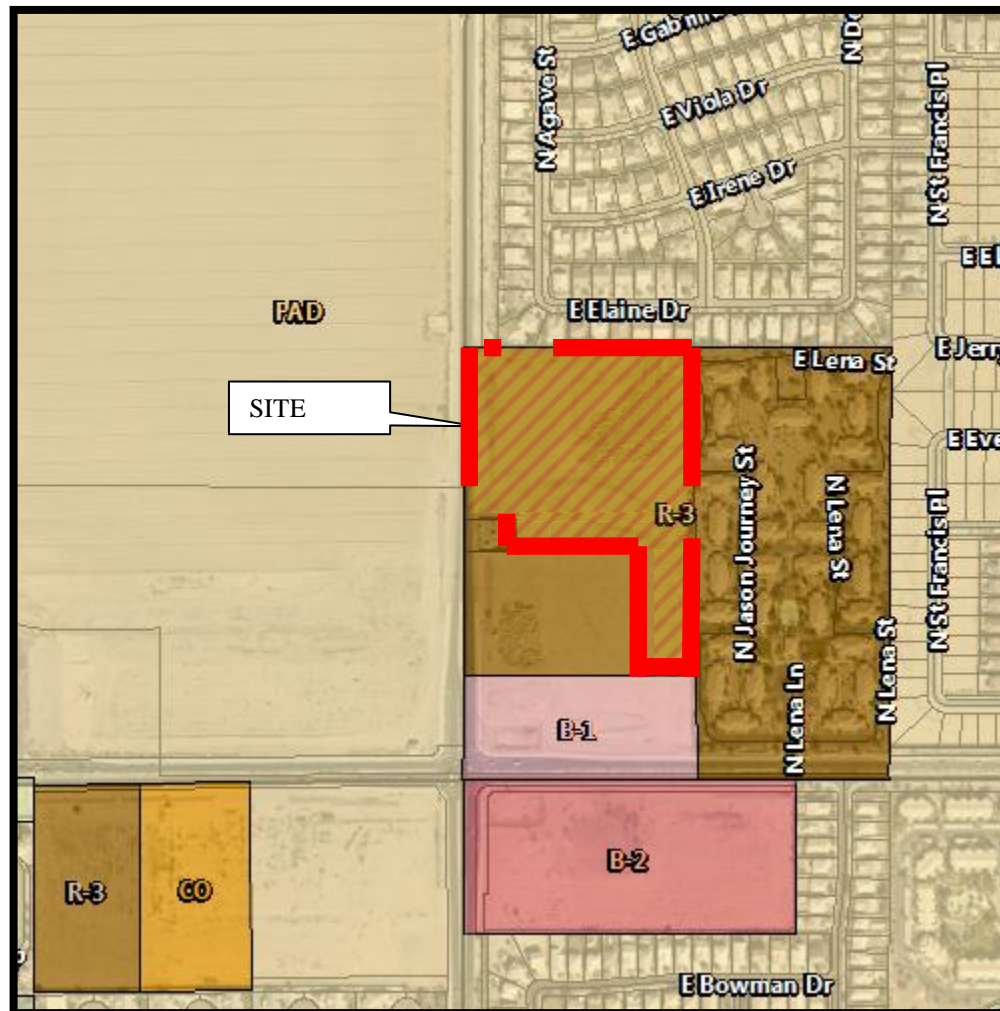
General Plan Map



Conformance to the City's Zoning Ordinance:

The proposed development plan, in terms of setbacks, building height, landscaping, and parking facilities complies with the site's R-3 zoning development standards.

Zoning Map



The impact of the plan on the existing and anticipated traffic and parking conditions:

The Applicant submitted a Traffic Impact Analysis (TIA) which analyzes the project's impact to the existing and anticipated traffic conditions. This TIA is currently being evaluated by the City Traffic Engineer.

As an elderly housing development, one parking space per unit is required. A 3,600 sq. ft. club house is also proposed with a parking requirement of one parking space per 250 sq. ft. of 90% of the gross floor area. This results in the requirement of 97 parking spaces (84 units at one parking space per unit plus 13 spaces for the club house). This

site provides 124 parking spaces. A condition of approval is that a note be placed on the plan verifying that this is for Elderly housing since more parking would be required if this were to be considered typical multi-family development.

The adequacy of the plan with respect to land use:

The surrounding development consists of multi-family development, single-family residential and a proposed assisted living facility. This development will be compatible to both existing and proposed uses by providing single-story development similar to the existing multi-family development offered by the existing Villas by Mary T development to the east. The proposed plan is in compliance with the following applicable *Neighborhoods* Land Use category provisions as set forth in the General Plan 2020:

Appropriate Zoning

- R-3– Multi-Family Residential

Infrastructure and Mobility

- Paved streets constructed to City standards and connected to the City-wide grid at key access points.
- Development that is connected to an approved water provider and City sewer.
- Services that are within this land use category meet or exceed City norms.
- Utilities that are provided underground.

Spatial Form and Design

- Connectivity has been provided to incorporate the existing Villas By Mary T as well as the proposed assisted living facility to the south.

Pedestrian and vehicular ingress and egress:

Pedestrian access is provided via sidewalks internal to the development and to be constructed along Peart Rd and one new entrance onto Peart Rd. The existing fence bordering the Mary T development will be removed in places to provide additional connectivity between the new Villas Plus by Mary T and the existing development. Pedestrian and vehicular connectivity is proposed to access proposed assisted living facility to the south.

It is a condition of approval that once that the TIA is revised as necessary and found acceptable, the Major Site Plan will need to be modified to reflect modifications with respect to the site's entrance onto Peart Rd and half-street improvements deemed necessary adjacent to the site.

Building locations and height:

The 20 buildings are located throughout the 10.46-acre development. Proposed to all be single-story, according to the elevations, no building will be taller than 20 ft. in height to the roof pitch. The maximum height in this R-3 zone district is 35 ft.

Landscaping:

The site plan proposes a mixture of drought-tolerant trees, shrubs, accent plants and ground cover throughout the site. The landscaping is compatible with what the existing Villas by Mary T. The landscaping design meets all relevant landscape code requirements (Exhibit B).

Lighting:

All lighting will be sufficiently shielded in order to comply with the City's Light Control Ordinance.

Provisions for utilities:

The site may be serviced by the following utility providers:

- Sanitation Services (trash & sewer) - City of Casa Grande
- Water- Arizona Water Company
- Electricity- APS
- Gas- Southwest Gas
- Cox Cable
- Qwest Communications

Site drainage:

A preliminary drainage report for the project was submitted and is currently under review by City Staff. It shall be a condition of approval that the Applicant shall provide necessary modifications to the Drainage Report and Major Site Plan which meet City standards for adequate drainage on and adjacent to the site.

Open space:

The City Code requires that 200 sq. ft. of open space per units with patios of 40 sq. ft. or larger. The site accommodates for this by providing 28,000 sq. ft. of outdoor living area where 16,400 sq. ft. is required.

Loading and unloading areas:

Sufficient drive aisles and internal parking is provided for necessary loading and unloading within the site. It is a condition of approval that one van accessible space be provided with a minimum 8 ft. unloading area.

Grading:

A preliminary grading plan for this site is currently under review for the site (Exhibit C). A condition of approval for Major Site Plan is that the Applicant shall meet City grading standards.

Signage:

Signage will be reviewed and approved with a separate sign permit application.

Screening;

An existing wall to the north separating the proposed development from the single-family residential PAD is to remain. Portions of the existing wall to the east between the proposed development and the existing Villas by Mary T development will be removed to provide cohesiveness and access between the existing and new development.

Setbacks;

The site plan shows compliance with the setbacks established by the Multi-Family Residential zone (R-3).

| | R-3 Min. Setbacks | Proposed Building Setbacks |
|--------------|------------------------------|-----------------------------------|
| Front | 20' | 45' |
| Side | 15' | 40' |
| Rear | 20' | 20' |

Other Related Matters;

Elevations

The proposed development features a similar design and aesthetics as the adjacent Villas by Mary T development multi-family residences, and will be visually compatible to the surrounding uses (Exhibit D).

Materials and Colors

The buildings will utilize utilizing a stucco finish with design accents. The building's color palette incorporates a mix of browns with a muted red roofing material.

Refuse

Refuse will be stored within in enclosures throughout the site that meet City specifications as shown on the site plan.

PUBLIC NOTIFICATION/COMMENTS

Notification

Public hearing notification efforts for this request meet and exceed those requirements set out by City Code. They include:

- A notice was published in the Casa Grande Dispatch on April 13, 2014 for the May 1, 2014 Planning and Zoning Commission public hearing.
- Notice was mailed by the City of Casa Grande on April 16, 2014, fifteen days before the day of the hearing to each owner of property situated within 200 hundred feet of the subject property. The names and addresses of the owners were provided by the City of Casa Grande per Pinal County Ownership Data. An affidavit confirming this mailing was supplied by the City.

- A sign was posted by the Applicant on April 15, 2014 on the subject site. An affidavit confirming this posting has been supplied.

Inquiries/Comments

Staff has not received any inquiries or comments on the proposed development.

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| RECOMMENDED MOTION |
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Staff recommends approval of DSA-14-00012 (Major Site Plan) **subject to the following conditions:**

1. The Major Site Plan and associated reports are modified as follows:
 - a. Provide contact information of the owner on the site plan.
 - b. Change address on the plan to 1678 N Peart Rd.
 - c. Label "15' Bldg setback" the following places:
 - On south side property-line north of the Arizona Water well site
 - Westerly adjacent to the Arizona Water well site
 - Area northerly adjacent to the proposed Caliche Senior Living site.
 - d. Revise the Site Statistics Block to show required versus provided parking to show the following:

Required Parking – 1 parking space per unit per Elderly Housing
Parking Type = 84 spaces

1 parking space per per 250 sq. ft. of 90%
GFA of Club House (Club House Area = 3,600
sq. ft.) = 13 spaces

Total: 97 spaces required

Provided Parking – 78 spaces within garages
42 outdoor parking spaces
4 ADA accessible spaces

Total: 124 parking spaces provided

- e. Provide a note on the plan stating: *"The parking total is based on elderly housing which is for a community that is age 55 or older. If the age restriction no longer applies to this site, more parking will have to be provided and provided by City".*

- f. Revise the Site Statistics Block to show the required open space versus the provided open space (16,400 sq. ft. required v. 28,000 sq. ft. provided).
 - g. Label which buildings are to have six units, and assure on the site plan that the units that do not have garage have adjacent exterior parking available.
 - h. Show at least one 8 ft. van unloading area for a wheelchair accessible space.
 - i. Adjust buildings to meet 20 ft. minimum separation requirement between structures. It appears that buildings 4 and 5, buildings 10 and 20, and buildings 6 and 13 do not meet this requirement.
 - j. Modify the Major Site Plan to illustrate the new half-street improvements that the Applicant is required to construct to Peart Rd prior to the issuance of a Certificate of Occupancy for any building within the development. This may include the construction of a partial median as determined by the City Engineer. The Major Site Plan will need to be modified to reflect modifications with respect to the site's entrance onto Peart Rd.
 - k. Revise the Preliminary Drainage Report to comply with the requirements of the City Engineer.
 - l. Modify the Major Site Plan to accommodate any drainage facilities required by the approved Preliminary Drainage Report.
2. Revise the TIA to analyze the traffic distribution and impacts where the Peart Rd entrance is restricted to a Right-in/Right-out due to the existence of a median on Peart Rd.
3. A Map of Dedication dedicating 70 ft. of Peart Road right of way shall be submitted and approved prior to the issuance of a Certificate of Occupancy for any building within the development.

Exhibits

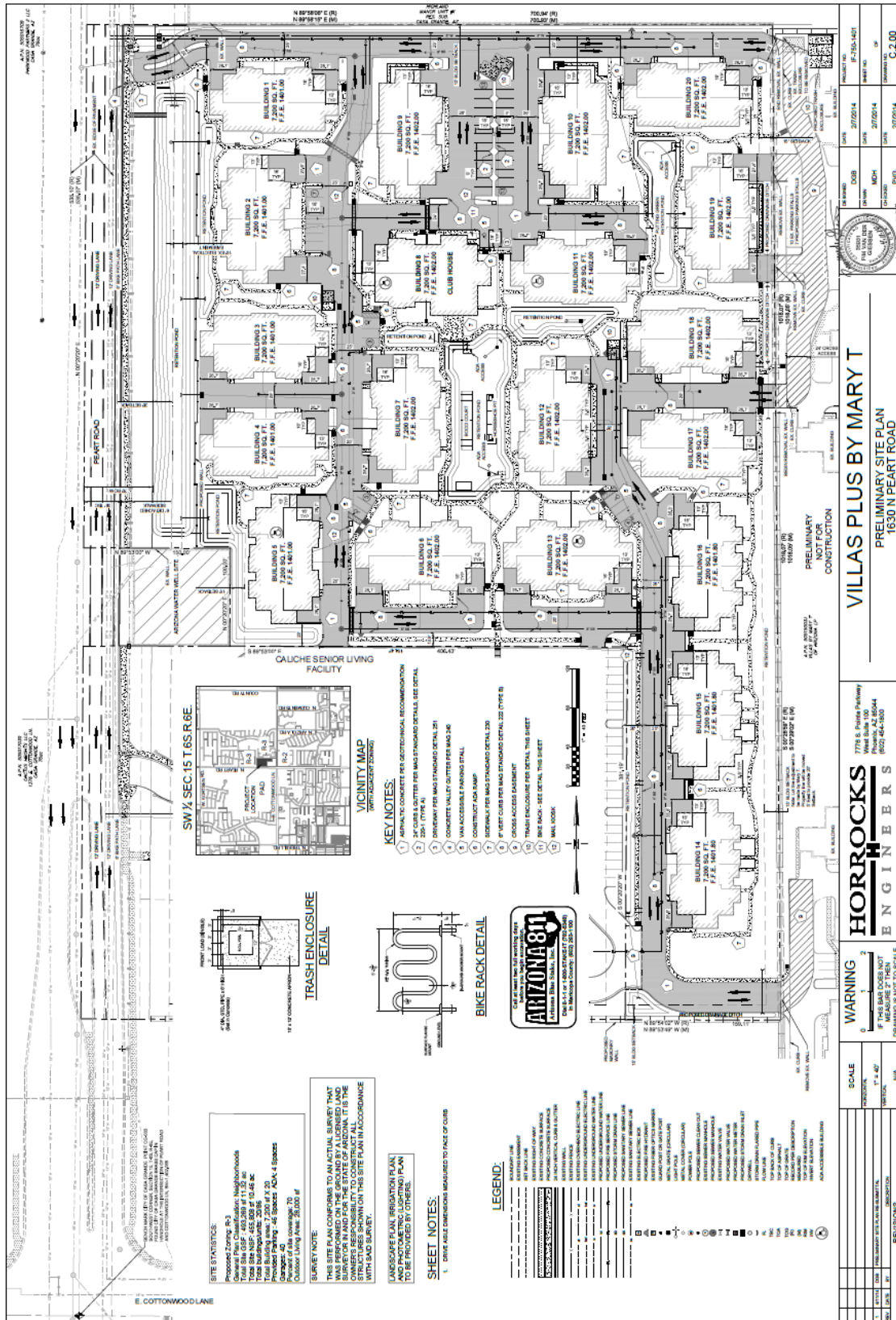
Exhibit A- Site Plan

Exhibit B- Preliminary Landscape Plan

Exhibit C- Preliminary Grading & Drainage Plan

Exhibit D- Building Elevations

Exhibit E- Narrative



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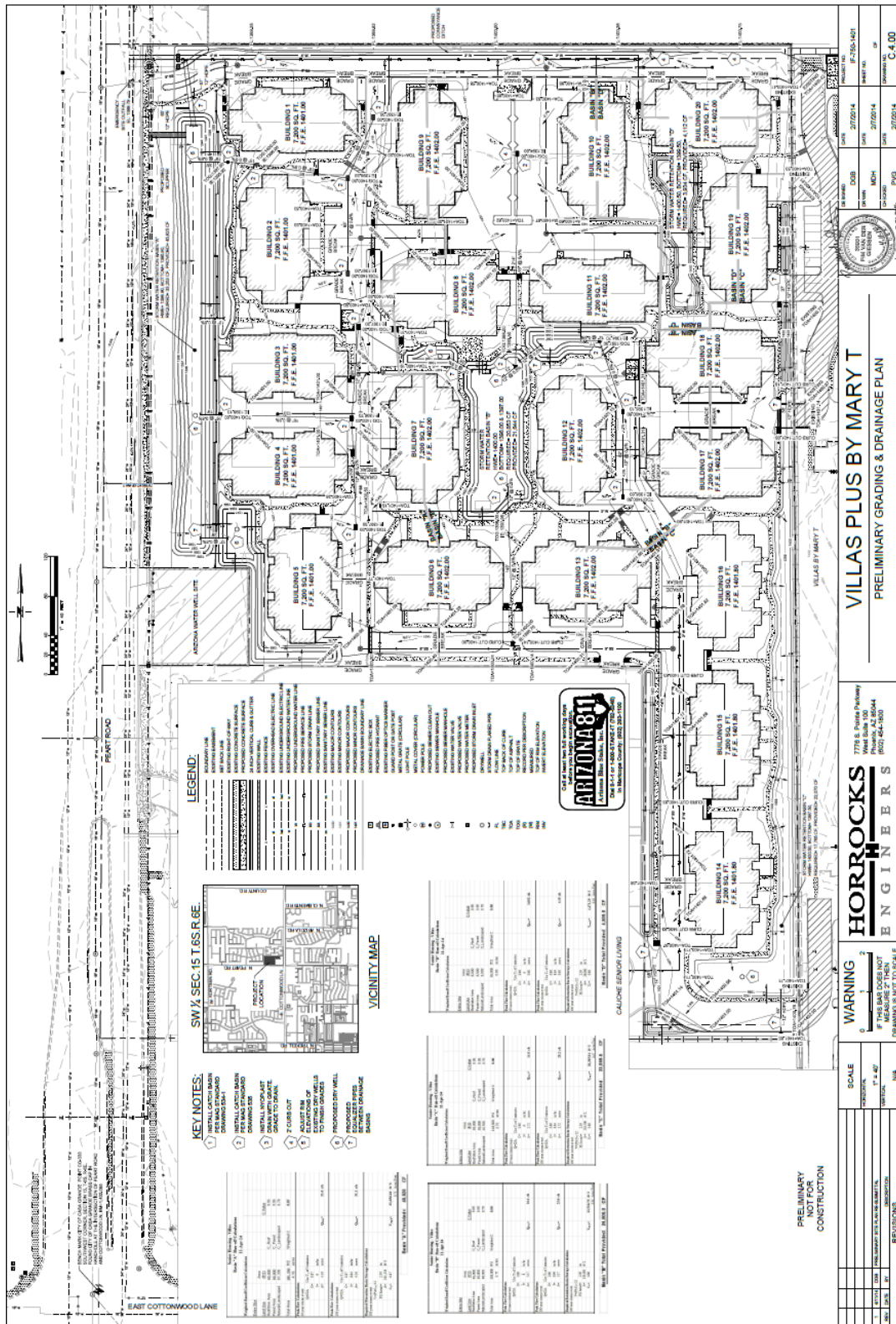


Exhibit D

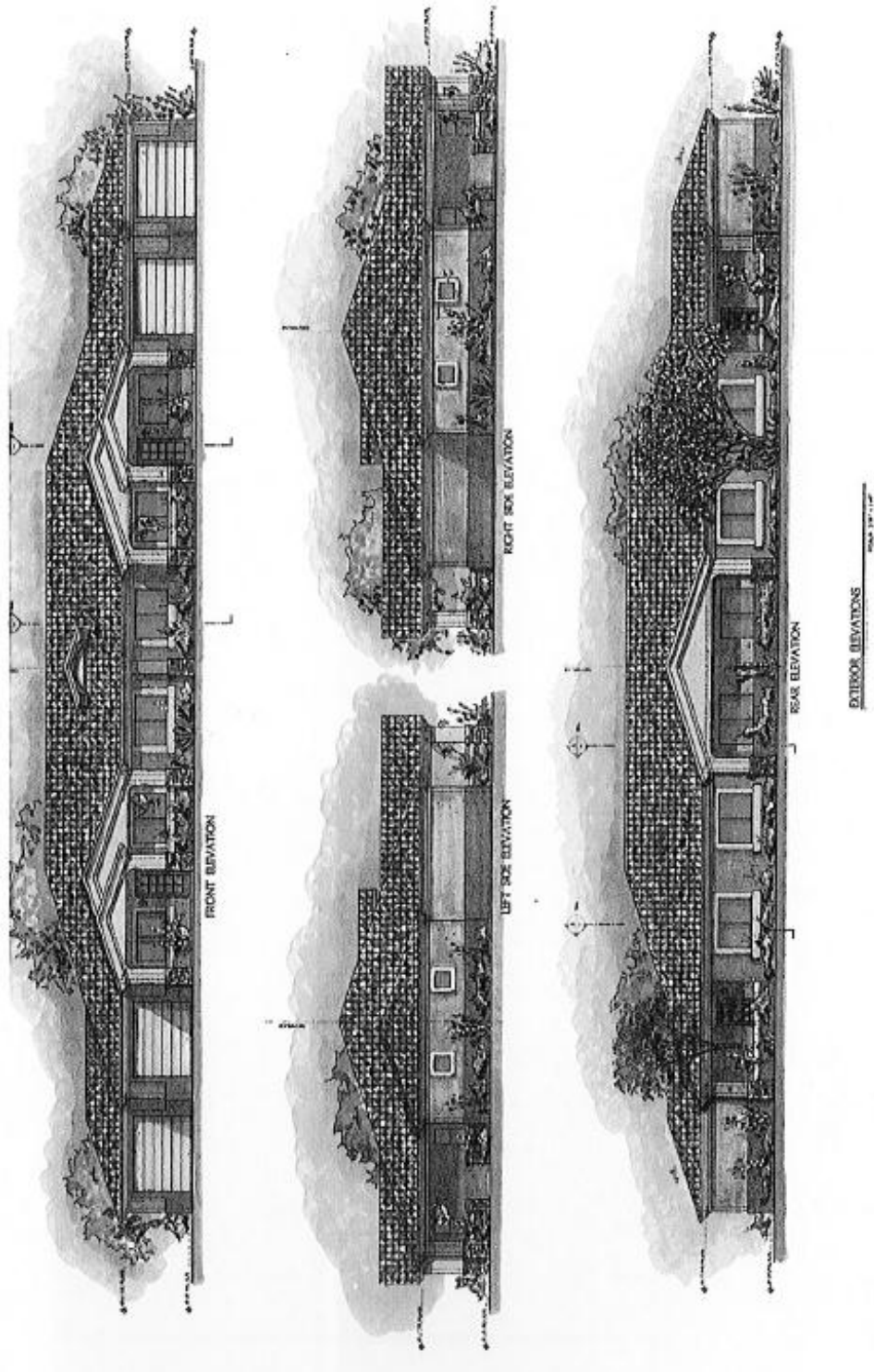


Exhibit E



February 10, 2014

Paul Tice, AICP
Planning and Development Director
510 E. Florence Blvd.
City of Casa Grande, AZ 85122

Subject: Villas Plus by Mary T. - Senior Apartments at Peart / Cottonwood
Major Site Plan Application

Dear Mr. Tice:

On behalf of Mary T. Inc. we are submitting a Major Site Plan application for the Villas Plus by Mary T. development. It should be noted that a Major Site Plan application is also being submitted concurrently for the proposed Caliche Assisted Living Facility which is adjacent to the proposed Villas Plus by Mary T. development. A site plan depicting the two proposed projects has been designed to assist City staff in their review of the two projects and to ensure connectivity and site coordination between the two projects.

Villas Plus by Mary T. has been designed as a premier senior living community consisting of quality senior housing and amenities for residents. The development is proposed for the northeast corner of the intersection of Peart Road and Cottonwood Lane East; adjacent to the existing Villas by Mary T. senior housing development. The layout and proposed buildings will be very similar in style to the existing Villas by Mary T. development; each of the twenty proposed apartment buildings will contain four or six one level townhomes designed for independent senior living.

1576 East Cottonwood Lane • Casa Grande, Arizona 85122
(520) 836-5273 • Fax (520) 421-9143 • www.marytinc.com

Values:
Cooperative Culture • Innovation
Social Activism • Integrity
Enliven the Spirit • Sustainability



Garages are proposed for most units (more affordable one bedroom will not have a garage) and additional surface parking located throughout the development has also been designated. An extensive network of pathways connect residents to open space and recreational facilities and to neighboring apartment buildings. Connectivity between the Villas Plus by Mary T. development and the proposed Assisted Living Facility has also been designed to ensure easy pedestrian access for residents visiting friends or spouses at the Assisted Living Facility.

The City of Casa Grande General Plan currently designates the subject property for "Neighborhoods" with a zoning designation of R-3. Senior housing is considered to be a compatible with the R-3 zoning district; approval of a Major Site Plan is however required for a senior housing apartment home development. The proposed Major Site Plan meets all City of Casa Grande zoning and development regulations; no waivers from code standards are requested. Building elevations, preliminary landscape plans, a traffic impact analysis and all required engineering reports are included as a part of this submittal.

Thank you for your consideration of this project. Mary T. Inc has worked closely with City of Casa Grande engineering and planning staff, public agencies and neighboring property owners to ensure that Villas Plus by Mary T. will be a positive addition to the City of Casa Grande.


If you have any questions regarding this submittal, please contact

Ruth Dahl at (612) 963-6207. We appreciate working with you on this project.

Sincerely,

Ruth Dahl, Director
Mary T. Inc.

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